

DISTRICT OF LAKE COUNTRY

BYLAW 939

A BYLAW TO AMEND ZONING BYLAW 561, 2007

The Council of the District of Lake Country, in open meeting assembled, enacts as follows:

Zoning Bylaw 561, 2007 is hereby amended by:

- 1) Deleting Section 19.11 DC12 - Direct Control 12 (0825634 BC Ltd) and replacing it with Schedule "A" attached hereto.
- 2) This bylaw may be cited as "Zoning Amendment (Turtle Bay Crossing Development Ltd.) Bylaw 939, 2016".

READ A FIRST TIME this 19th day of January, 2016.

READ A SECOND TIME this 19th day of January, 2016.

NOTICE OF WAIVER OF PUBLIC HEARING ADVERTISED on the 3rd and 10th days of February, 2016.

READ A THIRD TIME this 16th day of February, 2016.

RECEIVED the approval of the Ministry of Transportation this 19th day of April, 2016.

Original signed by Audrie Henry _____

Ministry of Transportation and Infrastructure

ADOPTED this 17th day of May, 2016.

Original signed by James Baker _____

Mayor

Original signed by Reyna Seabrook _____

Corporate Officer

I hereby certify the foregoing to be a true and correct copy of the Bylaw cited as "Zoning Amendment (Turtle Bay Crossing Development Ltd.) Bylaw 939, 2016" as adopted by the Municipal Council on the 17th day of May, 2016.

Dated at Lake Country, BC

Corporate Officer

Schedule "A"

Zoning Amendment (Turtle Bay Crossing Development Ltd.) Bylaw 939, 2016**19.1.1. Purpose**

This zone provides for the development of a retail commercial complex on LOT B SECTION 22 TOWNSHIP 20 OSOYOOS DIVISION YALE DISTRICT PLAN EPP34757, or any subsequent legal descriptions.

19.1.2. Principal Uses

- (a) animal clinic, minor
- (b) business support services
- (c) care centres, intermediate
- (d) care centres, minor
- (e) financial services
- (f) food primary establishment
- (g) government services
- (h) health services
- (i) household repair services
- (j) licensee retail liquor store
- (k) liquor primary establishment, minor
- (l) offices
- (m) participant recreation services, indoor
- (n) personal service establishments
- (o) retail stores, convenience
- (p) retail stores, general
- (q) spectator entertainment establishments

19.1.3. Secondary Uses

- (a) drive-in food services
- (b) drive-through facility
- (c) non-accessory parking
- (d) utility services, minor impact

19.1.4. Subdivision Regulations

- (a) **WIDTH**
The minimum lot width is 50.0 m.
- (b) **DEPTH**
The minimum lot depth is 50.0 m.
- (c) **AREA**
The minimum lot area is 1 ha.

19.1.5. Buildings and Structures Permitted

- (a) Buildings and structures are to be located in accordance with Section 19.11.8 Site Plan.
- (b) A maximum of two (2) health services buildings are permitted.
- (c) The maximum gross floor area and maximum number of drive-in food services/drive-through facility shall conform to the following matrix:

Max Gross Floor Area	Drive-in Food Services	Drive-through Facility
3,540 m ²	Maximum of 3	Maximum of 1
3,679 m ²	Maximum of 2	Maximum of 1
3,855 m ²	Maximum of 1	Maximum of 1

- (d) Up to 3 pylon signs may be installed in locations identified in 19.11.8 Site Plan each with a maximum height of 8.0 m accordance with Section 19.11.12 (a, b,c) Signage Plans.

19.1.6. Development Regulations**(a) HEIGHT**

One storey is permitted with a maximum building height 8.0 m and a minimum of building height of 6.0 m.

(b) FRONT YARD

The minimum front yard is shown on Section 19.11.9 Setback Plan.

(c) SIDE YARD

The minimum side yard is shown on Section 19.11.9 Setback Plan.

(d) REAR YARD

The minimum rear yard is shown on Section 19.11.9 Setback Plan.

19.1.7. Other Regulations**(a) PARKING REGULATIONS**

A maximum of 210 parking stalls may be provided as shown on Section 19.11.8 Site Plan.

(b) RETAINING WALLS

The height of all retaining walls must comply with Section 8.5 unless otherwise specified in Section 19.11.11.a, or 19.11.11.b Retaining Wall Plan and Retaining Wall Elevations. The maximum allowable retaining wall height is 8.0 m, as shown in Section 19.11.11.(a,b) Retaining Wall Plan and Retaining Wall Elevations.

Retaining walls greater than 1.5 m in height must be vegetated gabion walls, unless varied or supplemented by an approved development permit).

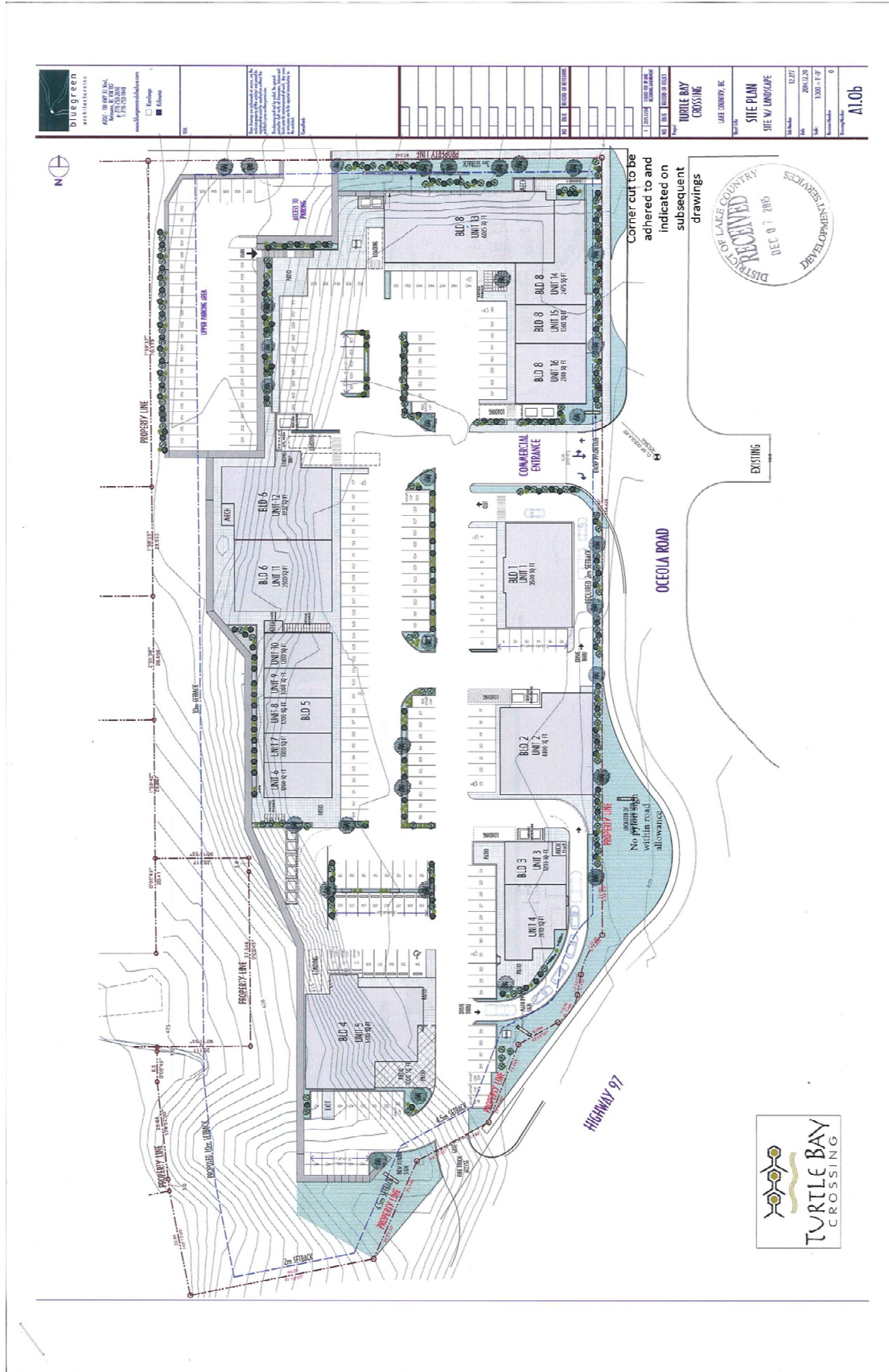
(c) LANDSCAPING

Landscaping must be provided as shown on Section 19.11.10 Landscape Plan unless varied or supplemented by an approved development permit.

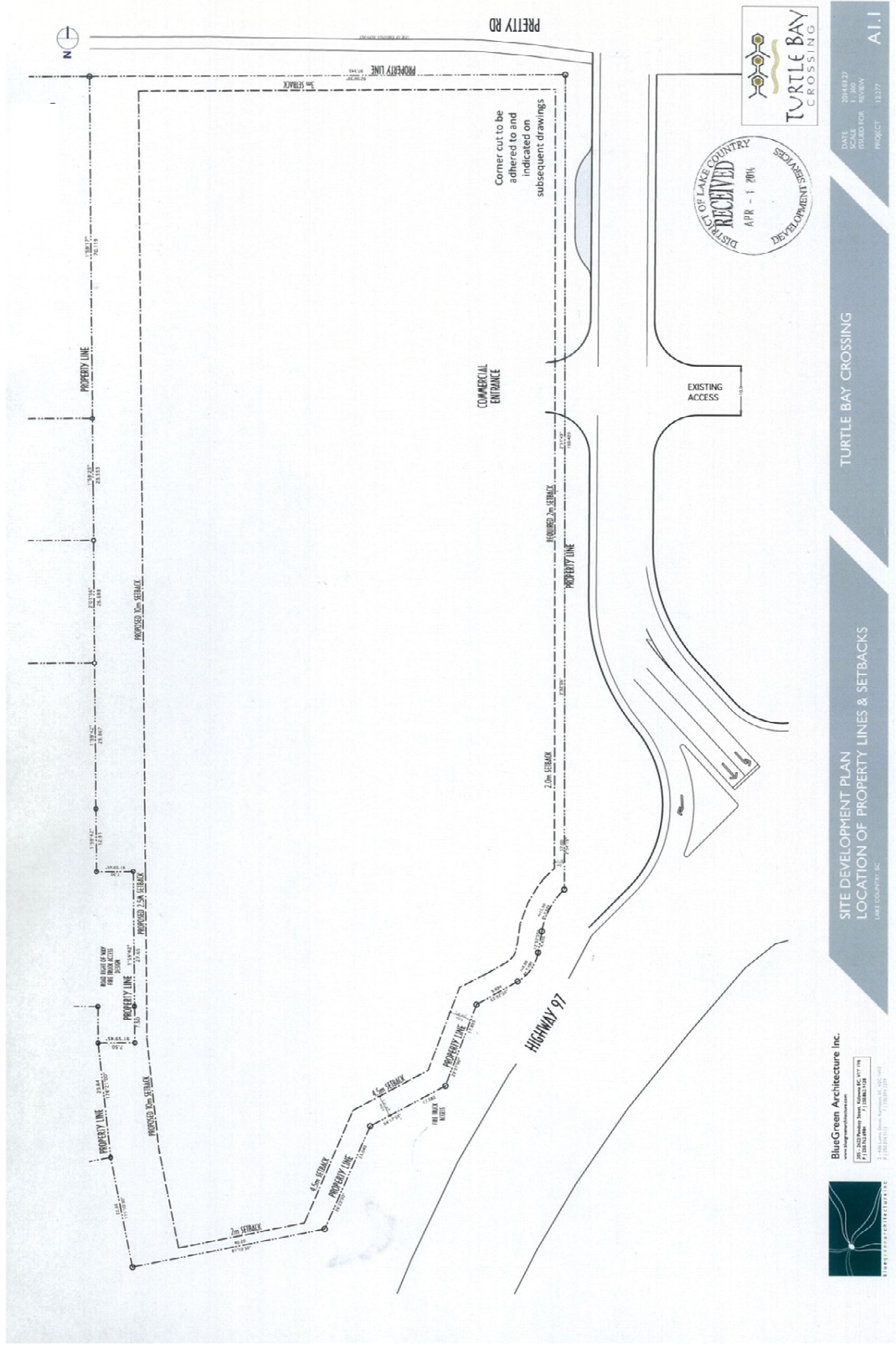
(d) ADDITIONAL REGULATIONS

In addition to the regulations listed above, other regulations may apply. These include the general development regulations of Section 7 (accessory development, yards, projections into yards, lighting, agricultural setbacks, etc.), the landscaping and fencing provisions of Section 8, the parking and loading regulations of Section 9, the specific use regulations of Section 10, and the sign regulations of Section 11.

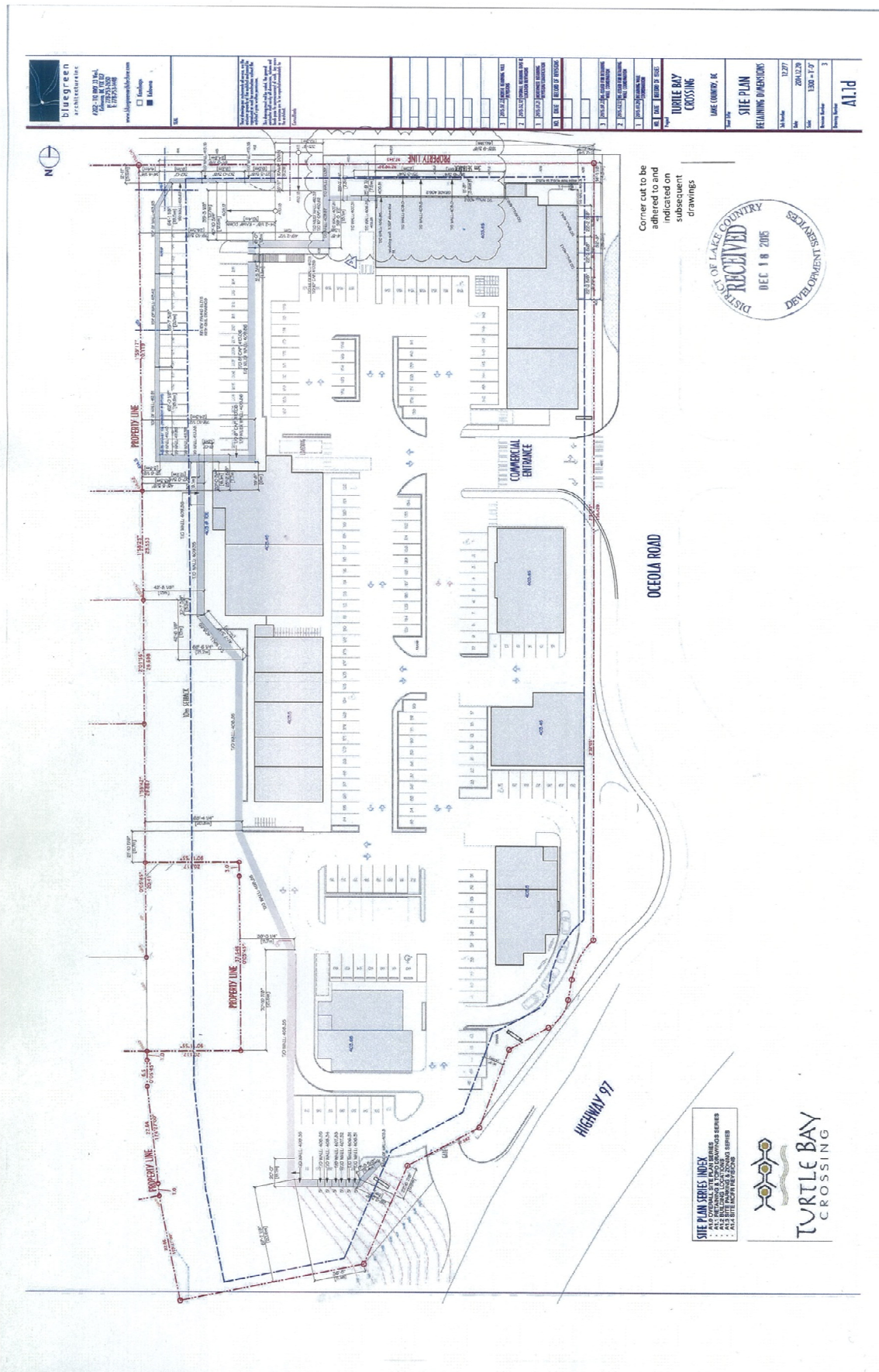
19.11.8 – Site Plan



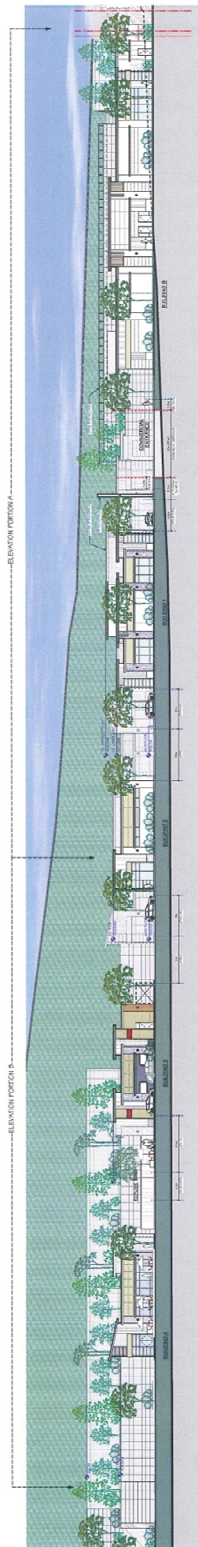
19.11.9 - Setback Plan



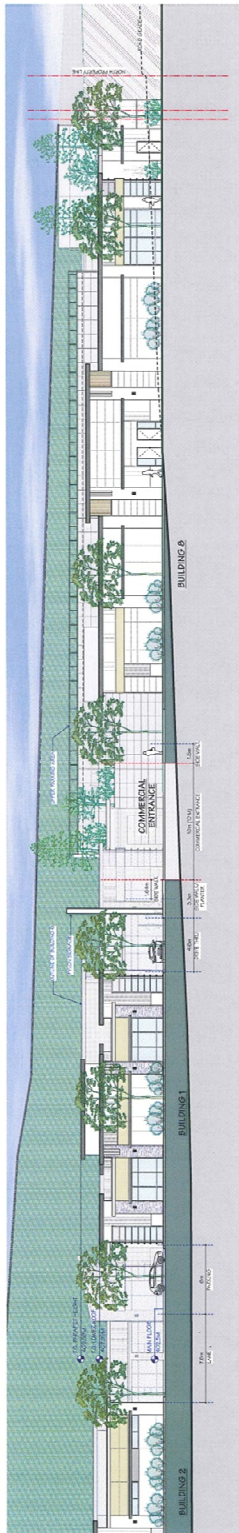
19.11.11a – Retaining Wall Plan



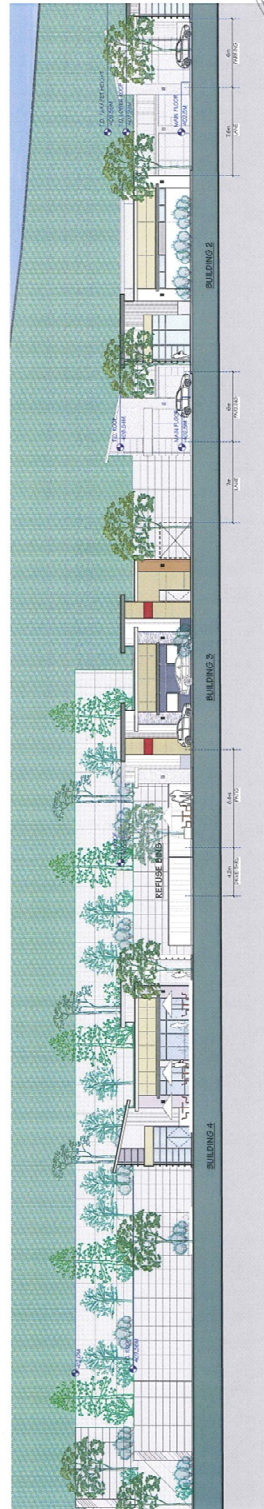
19.11.11b – Retaining Wall Elevations



1 WEST ELEVATION FROM OCEOLA ROAD



2 WEST ELEVATION FROM OCEOLA ROAD

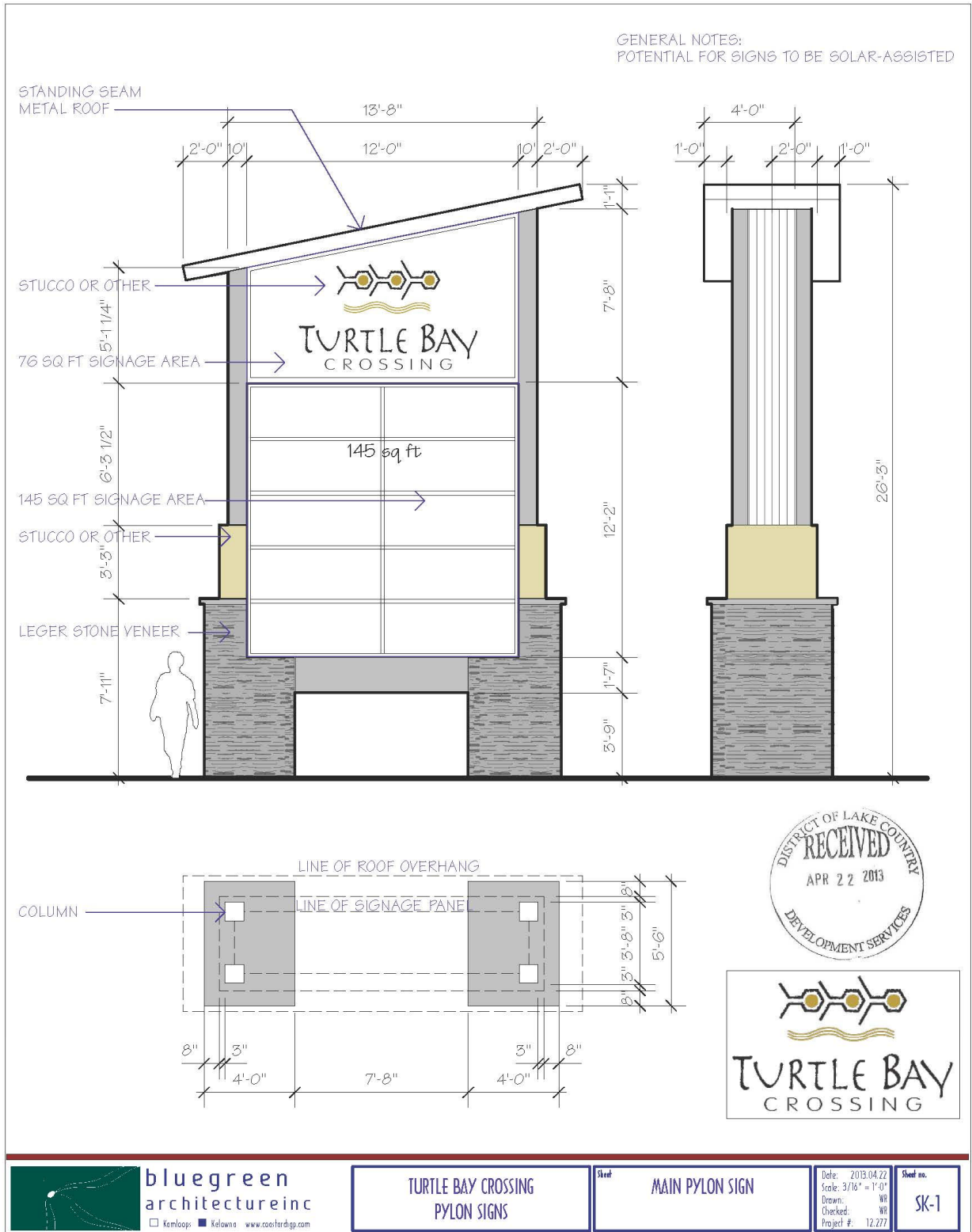


3 WEST ELEVATION FROM OCEOLA ROAD

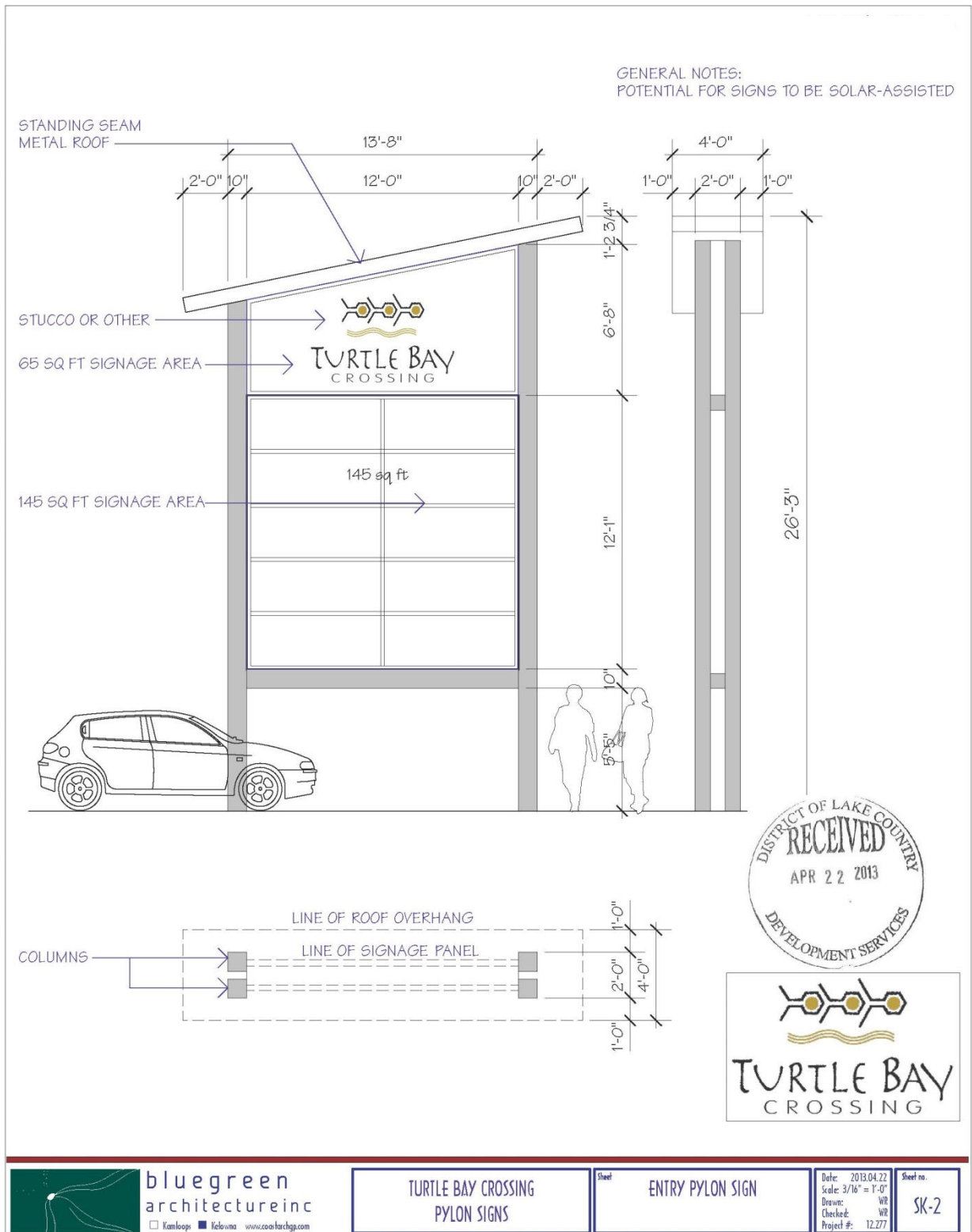


WEST ELEVATION FROM OCEOLA ROAD
TURTLE BAY CROSSING

19.11.12a - Signage



19.11.12b - Signage



19.11.12c - Signage

