

DISTRICT OF LAKE COUNTRY

BYLAW 972

A BYLAW TO AMEND ZONING BYLAW 561, 2007

The Council of the District of Lake Country, in open meeting assembled, enacts as follows:

Zoning Bylaw 561, 2007 is hereby amended by:

- 1) Deleting Section 19.11 DC12 - Direct Control 12 (Turtle Bay Crossing Development Ltd.) and replacing it with Schedule "A" attached hereto.
- 2) This bylaw may be cited as "Zoning Amendment (Turtle Bay Crossing Development Ltd.) Bylaw 972, 2016".

READ A FIRST TIME this 19th day of July, 2016.

READ A SECOND TIME this 19th day of July, 2016.

ADVERTISED on the 3rd and 10th days of August, 2016 and Public Hearing waived pursuant to the provisions of Section 467 of the *Local Government Act*.

READ A THIRD TIME this 16th day of August, 2016.

RECEIVED the approval of the Ministry of Transportation and Infrastructure this 1st day of September, 2016.

Original signed by R. M. Clifford
Ministry of Transportation and Infrastructure

ADOPTED this 20th day of September, 2016.

Original signed by James Baker
Mayor

Original signed by Reyna Seabrook
Corporate Officer

I hereby certify the foregoing to be a true and correct copy of the Bylaw cited as "Zoning Amendment (Turtle Bay Crossing Development Ltd.) Bylaw 972, 2016" as adopted by the Municipal Council on the 20th day of September, 2016.

Dated at Lake Country, BC

Corporate Officer

Schedule "A"

19.11. DC-12 – Direct Control 12 (Turtle Bay Crossing Development Ltd.)**19.11.1 Purpose**

This zone provides for the development of a retail commercial complex on LOT B SECTION 22 TOWNSHIP 20 OSOYOOS DIVISION YALE DISTRICT PLAN EPP34757, or any subsequent legal descriptions.

19.11.2 Principal Uses

- (a) animal clinic, minor
- (b) business support services
- (c) care centres, intermediate
- (d) care centres, minor
- (e) financial services
- (f) food primary establishment
- (g) government services
- (h) health services
- (i) household repair services
- (j) licensee retail liquor store
- (k) liquor primary establishment, minor
- (l) offices
- (m) participant recreation services, indoor
- (n) personal service establishments
- (o) retail stores, convenience
- (p) retail stores, general
- (q) spectator entertainment establishments

19.11.3 Secondary Uses

- (a) drive-in food services
- (b) drive-through facility
- (c) non-accessory parking
- (d) utility services, minor impact

19.11.4 Subdivision Regulations

- (a) **WIDTH**
The minimum lot width is 50.0 m.
- (b) **DEPTH**
The minimum lot depth is 50.0 m.
- (c) **AREA**
The minimum lot area is 1 ha.

19.11.5 Buildings and Structures Permitted

- (a) Buildings and structures are to be located in accordance with Section 19.11.8 Site Plan.
- (b) A maximum of two (2) health services buildings are permitted.
- (c) The maximum gross leasable area, maximum gross floor area and maximum number of drive-in food services/drive-through facility shall conform to the following matrix:

Max Gross Leasable Area	Max Gross Floor Area	Drive-in Food Services	Drive-through Facility
4,647 m ²	4,939 m ²	Maximum of 1	Maximum of 1

- (d) Up to 3 pylon signs may be installed in locations identified in 19.1.8 Site Plan each with a maximum height of 8.0 m accordance with Section 19.1.12 (a, b,c) Signage Plans.

19.11.6 Development Regulations**(a) HEIGHT**

For Buildings 1-5 and 8, one storey is permitted with a maximum building height of 8.0 m and a minimum building height of 6.0 m.

For Buildings 6 and 7, two storeys is permitted with a maximum building height of 14.0 m.

(b) FRONT YARD

The minimum front yard is shown on Section 19.1.9 Setback Plan.

(c) SIDE YARD

The minimum side yard is shown on Section 19.1.9 Setback Plan.

(d) REAR YARD

The minimum rear yard is shown on Section 19.1.9 Setback Plan.

19.11.7 Other Regulations**(a) PARKING REGULATIONS**

A maximum of 209 parking stalls may be provided as shown on Section 19.1.8 Site Plan.

(b) RETAINING WALLS

The height of all retaining walls must comply with Section 8.5 unless otherwise specified in Section 19.1.11.a, or 19.1.11.b Retaining Wall Plan and Retaining Wall Elevations. The maximum allowable retaining wall height is 8.0 m, as shown in Section 19.1.11.(a,b) Retaining Wall Plan and Retaining Wall Elevations.

Retaining walls greater than 1.5 m in height must be vegetated gabion walls, unless varied or supplemented by an approved development permit).

(c) LANDSCAPING

Landscaping must be provided as shown on Section 19.1.10 Landscape Plan unless varied or supplemented by an approved development permit.

(d) ADDITIONAL REGULATIONS

In addition to the regulations listed above, other regulations may apply. These include the general development regulations of Section 7 (accessory development, yards, projections into yards, lighting, agricultural setbacks, etc.), the landscaping and fencing

provisions of Section 8, the parking and loading regulations of Section 9, the specific use regulations of Section 10, and the sign regulations of Section 11.

Section 19.1.8 Site Plan

These drawings are instruments of service, and shall not be reproduced or used for construction without the architect's prior written permission. This drawing is not to be used for any other purpose and shall not be used to determine dimensions and levels prior to commencement of work. Any errors or omissions are to be reported immediately to the architect.



NEW TOWN SERVICES
2150, R.A.D., A.S.T.
416-291-2222

1461 St. Paul Street, Kilmoryn, BC, V7Y 2E8

DATE

No.	Date	Description
1	2016.03.11	Issue for O.P.



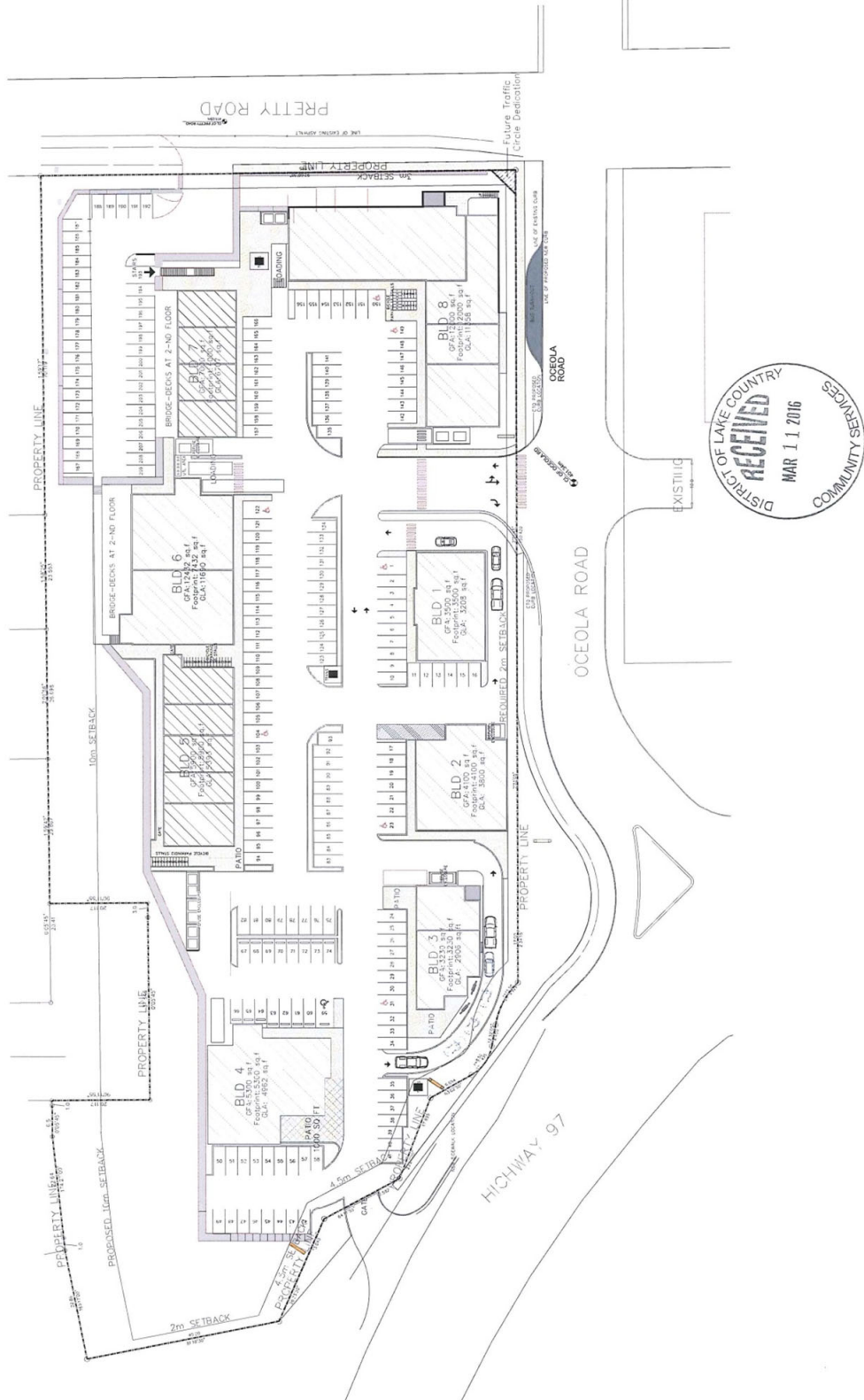
AXIOM Developments
PROJECT SITE
TURTLE BAY CROSSING BUILDING
11860 OCEOLA RD WINFIELD, B.C.
PROJECT NO. 1182
DRAWING TITLE

Overall Site Plan

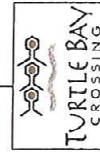
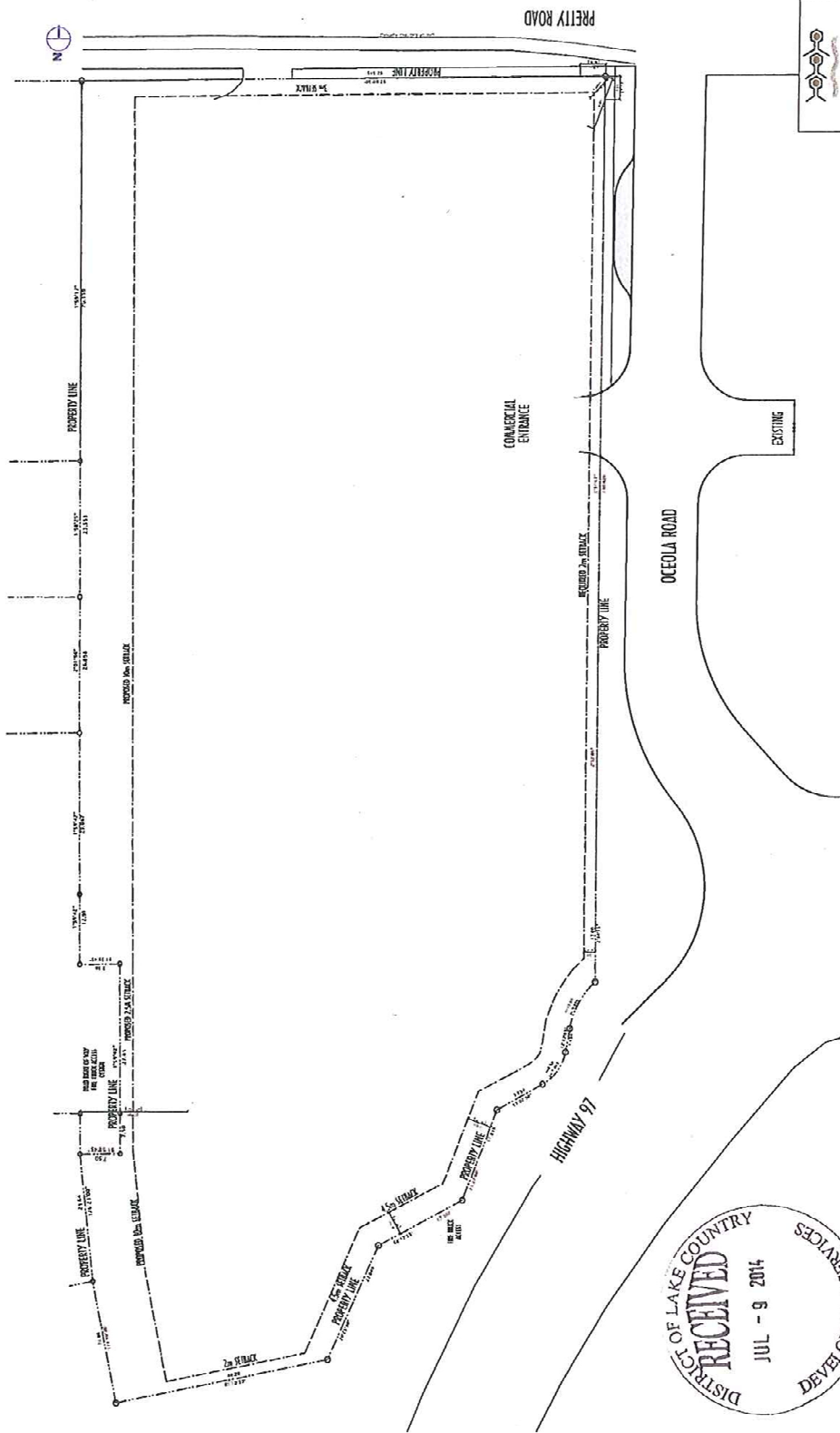
SCALE AS SHOWN

DATE

A1.0



19.1.9 - Setback Plan



DATE: 2014.07.09
 SCALE: 1" = 300'
 PROJECT: 19.1.9 - Setback Plan
 A.I.1

TURTLE BAY CROSSING

SITE DEVELOPMENT PLAN
 LOCATION OF PROPERTY LINES & SETBACKS

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